

# **Platypus Renewal Project**

## **Public Domain and Access Improvements and Refurbishment of Selected Buildings**

### **VISUAL IMPACT ASSESSMENT**



View of HMAS Platypus from the eastern foreshores of Neutral Bay (looking south west)

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# Executive Summary

In December 2016, the Harbour Trust adopted a statutory Management Plan for Platypus. The Management Plan proposes to reactivate the site through the provision of public open space, and adaptation of buildings for a range of cultural, recreational, community and commercial uses. The Harbour Trust is now looking to commence implementing key elements of the Plan.

The current proposal forms part the broader revitalisation scheme and are being undertaken to meet the overall aims for the Platypus; that is, to:

- Create a waterfront urban park
- Protect, manage and interpret the site's heritage values
- Maximise public access to the site
- Revive the site with a mix of new uses that are compatible with the site's character and constraints
- Protect local environment and amenity

The Commonwealth Government is providing \$20 million in funding towards the revitalisation of Platypus. The Harbour Trust has added \$3.8 million in additional funding to the project. These funds will allow a significant part of the vision to be realised. The full vision will be implemented as further funding becomes available.

The first stage of the revitalisation Project will include providing the public with safe access to the site, creating new open spaces, refurbishing a selection of buildings, and improving the presentation of the site.

Platypus is located on the western foreshore of Neutral Bay, surrounded by residential properties, offers expansive views of the waters of Neutral Bay and the opposite foreshore, and the site is prominent when viewed from the western shore of Neutral Bay and adjacent residences including the Iora residential complex and High Street. Vistas within Platypus also contribute to an appreciation of its character.

As identified in the Platypus Management Plan, the visual amenity of neighbouring properties will be protected to ensure the use of the site does not cause overlooking or loss of privacy.

The purpose of this Visual Impact Assessment is two-fold:

- Consider potential impacts such as changed or obstructed views of Platypus from the surrounding public domain (land and water).
- To consider whether the proposed works will result in adverse impacts on available views of the public domain from adjacent private properties (in accordance with the view sharing Planning Principles contained in *Tenacity v Warringah Council* (2004) NSWLEC 140)





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## 1. Introduction

This Visual Impact Assessment of proposed public domain and access improvements and the refurbishment of selected buildings at Platypus, has been prepared by Lucas, Stapleton, Johnson & Partners (LSJ) on behalf of the Sydney Harbour Federation Trust (Harbour Trust).

This report was prepared by Ian Stapleton and Kate Denny of this office (see attached CVs). The place and surrounding areas were inspected and photographed by Ian Stapleton and Alice Stapleton on 21<sup>st</sup> April 2017.

The purpose of this Visual Impact Assessment is two-fold:

- Consider potential impacts such as changed or obstructed views of Platypus from the surrounding **public domain** (land and water).
- To consider whether the proposed works will result in adverse impacts on available views of the public domain from **adjacent private properties** (in accordance with the view sharing Planning Principles contained in *Tenacity v Warringah Council* (2004) NSWLEC 140)

The works forms part of the larger revitalisation scheme of Platypus as a new waterfront public park including adaptive reuse and provision of public access as outlined in the *Management Plan Platypus, North Sydney*, 2016 (the Management Plan). The *(former) HMAS Platypus, North Sydney Conservation Management Plan* (2008) prepared by this firm informed the preparation of the Management Plan.

To achieve the Harbour Trust's vision for Platypus, the Management Plan outlines the principal aims for the ongoing management of Platypus. These aims are to:

- Create a waterfront urban park
- Protect, manage and interpret the site's heritage values
- Maximise public access to the site
- Revive the site with a mix of new uses that are compatible with the site's character and constraints
- Protect local environment and amenity

## 2. The Site

For the purposes of this report, the Platypus consists of the land owned by the Harbour Trust ('Trust land') and the adjoining waterway that contains the Submarine Wharf. The adjoining waterway is owned by the NSW State government and is to be licensed to the Harbour Trust for their use and to undertake the proposed works (the 'adjoining waterway').

In addition, the proposal includes works to the northern end of Kesterton Park (the Kesterton Park Link overwater bridge) which is owned by North Sydney Council; and road safety improvements works to Kiara Close which is owned by the body corporate for Iora Apartments, No. 1 Kiara Close. As such, for the purposes of this report, the northern end of Kesterton Park and Kiara Close also form part of the subject site.

The location of the four areas of land affected by the current proposal are described in detail below. See also Figure 3.

Platypus is located off High Street on the southwest foreshore of Neutral Bay, within the suburb of North Sydney, within the Local Government Area of North Sydney (refer to Figure 1).

The site is a reversed L-shaped area of 1.8 hectares running in a north-south direction adjacent to the harbour (refer to Figure 3). A concrete wharf, partly demolished, extends along the entire length of the waterfront, while the narrow foot of the 'L' faces High Street, North Sydney. The wharf faces north-east but for the purposes of this report, the orientation has been simplified by referring to the wharf as the east of the site and assuming it runs in a north south direction.

The site is bounded to the east by Neutral Bay, to the south by Kesterton Park, to the west by High Street and also to the west by the residential complex Iora Apartments, 1 Kiara Close.

The natural form of the place has been altered by the creation of a 15 metre high sandstone cliff dividing it into two main levels. A cutting was also made to form a roadway to High Street. The cliff is a prominent feature of the site and can be seen from the water and from the opposite foreshores of Neutral Bay.

Platypus is physically divided into three discrete and disconnected areas:

- High Street level - With direct street frontage to High Street, this level contains the former Gatehouse and a large factory building that runs the length of the southern boundary of the site, and overlooks Neutral Bay.
- Waterfront level – A flat area fronting the foreshore located at the base of a modified cliff line. This level contains the majority of the site's buildings, the former Submarine Wharf and the newly created open space. A roadway cutting from High Street provides access to this level.
- Upper level – A narrow strip of land along the top of the cliff that contains a storage building, the former Coal Stores and the main car park for the site. Access to the upper level car park is through Kiara Close and a pedestrian bridge over the roadway cutting.

The site contains several buildings, most of which are located on the lower apron area (Waterfront level) fronting the wharf. The buildings include several early gas works facilities, large factory workshops dating from the Second World War, post war additions and offices. The largest building by far is the RANTME factory, whose bulk dominates the southern end of the site.

Wide views across Neutral Bay are available from much of the place. Looking in the opposite direction the place is prominently visible from the western shore of Neutral Bay, from the public ferry wharves, roads and a few other public open spaces.

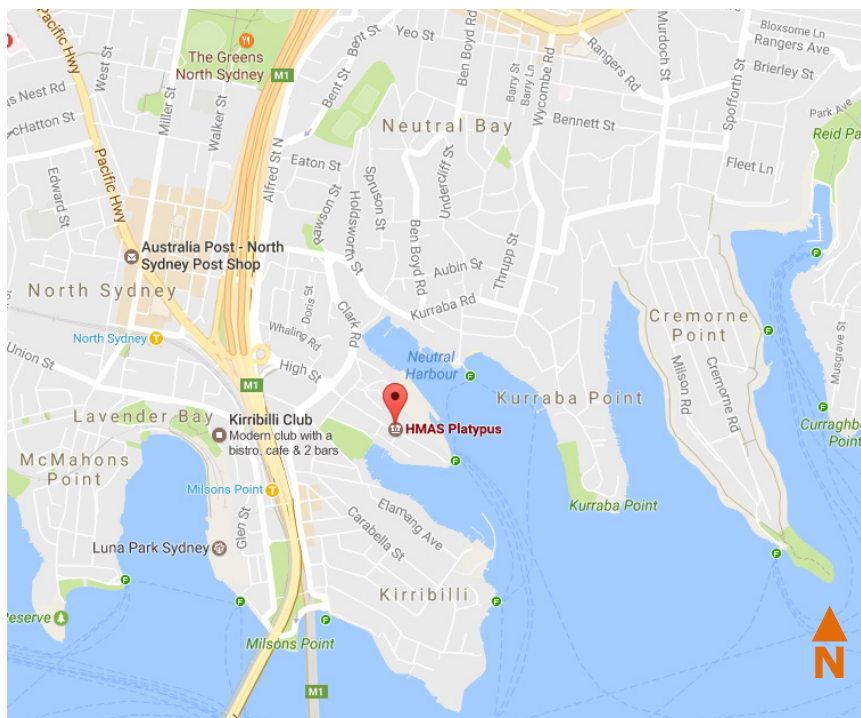


Figure 1: Street map showing location of subject property (indicated in red).  
(Source: Google Maps <http://maps.google.au/>)

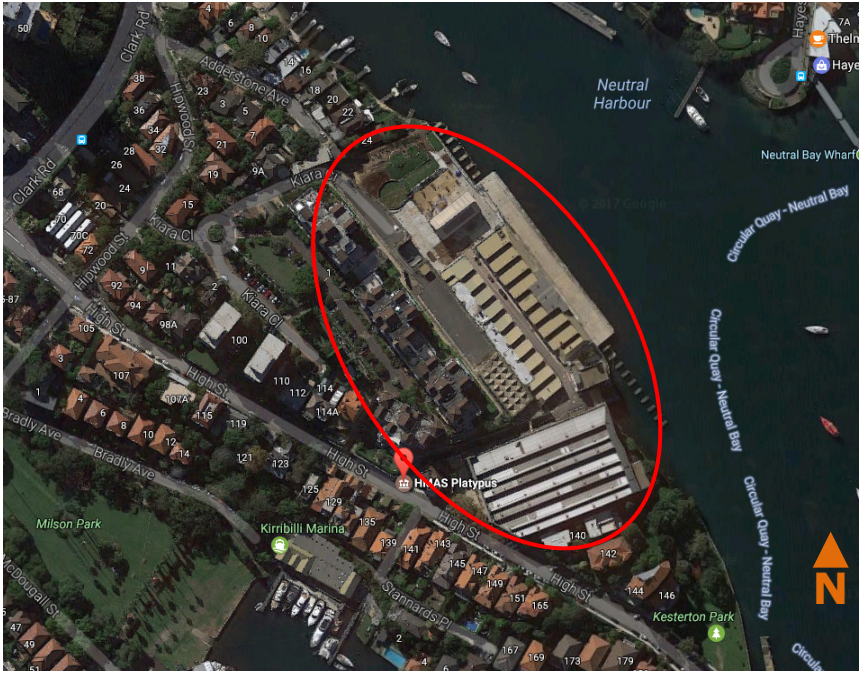


Figure 2: Aerial view of the subject property (circled in red) (Source: Google Maps <http://maps.google.au/>)

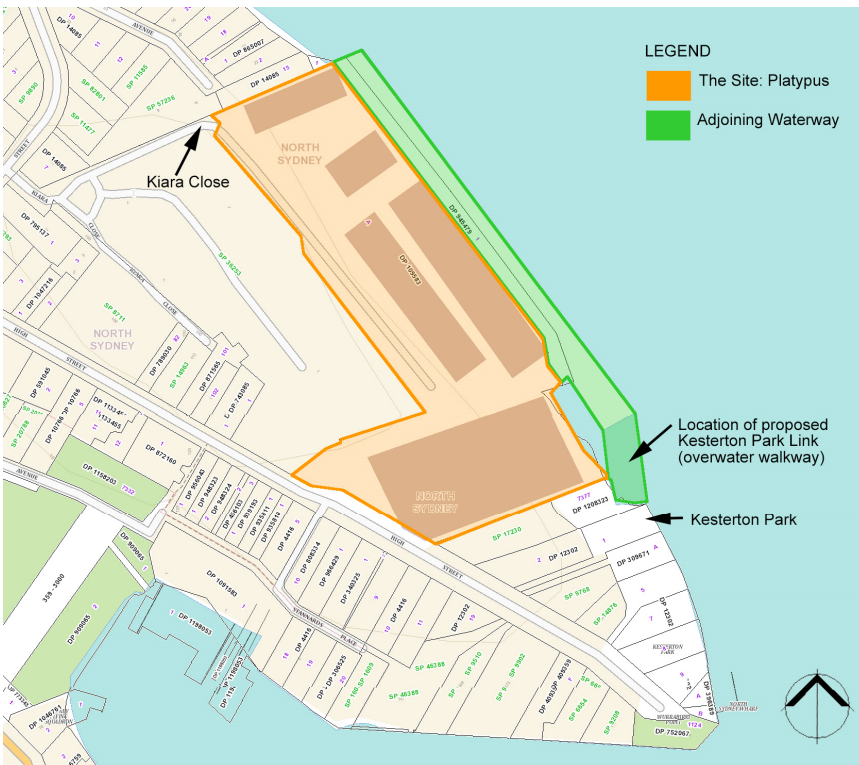


Figure 3: Street map of the locality showing the cadastral boundaries for the site and identifying the boundaries of the Trust land, adjoining waterway, Council land and Private land. Source: NSW LPI, SixMaps, downloaded April 2017



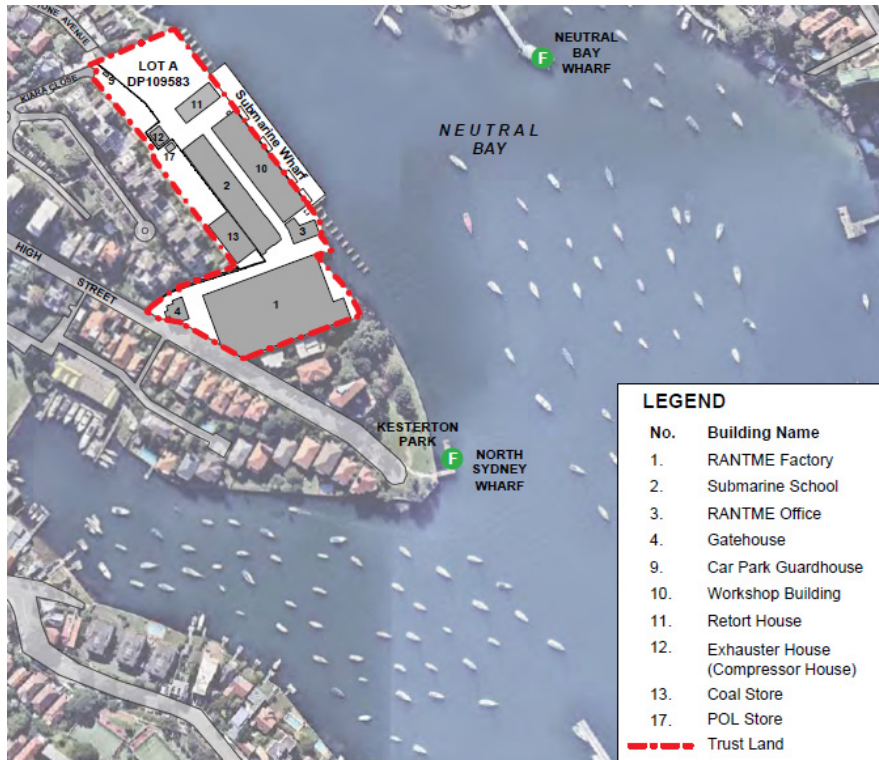
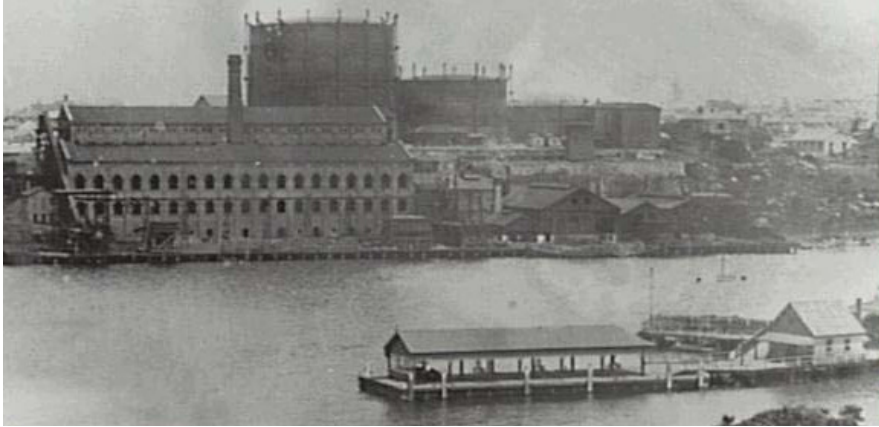





Figure 4: Extract from HMAS Platypus Management Plan identifying the boundaries of the site and the various buildings. Source: Figure 1, Management Plan 2016

## 2.1 Summary of Physical Changes to the Place

Since 1876, Platypus has accommodated three major enterprises, each with their own impact on the built environment of the site. The following precis of the development of Platypus has been extracted from the *HMAS Platypus Conservation Management Plan* (Clive Lucas, Stapleton & Partners, 2008) and the *Platypus Management Plan* (Sydney Harbour Federation Trust, 2016).

Date	Event
1875	<p>An Act of the NSW Parliament which authorised the manufacture and supply of gas to residents of the North Shore, James Walter Fell and Charles Watt, both former employees of the Australian Gas Light Company (AGL), went into partnership and purchased land from Wood and Younger fronting Neutral Bay.</p> <p>The first gas plant at the site consisted of the first Retort House, built on reclaimed land at the northwest corner of the property and a small Gas Holder located west of this. Excavation of the site created a flat area at the waterfront and another on the ridge, creating the distinct level changes still evident today.</p>
1882	<p>Land reclamation was extended eastwards and the company embarked on a period of major expansion which saw the construction of a new Retort house, a Gas holder, Exhauster House, Boiler House and Coke Plant.</p>
1890	<p>An adjoining property on the southern boundary of the gas works site was purchased, doubling the original landholding. The original 1877 Retort and Gas Holder near the foreshore were demolished and replaced.</p>
1902	<p>A new access road was built through the cutting to the waterfront, along what was then the southern boundary of the site. Further excavation of the cliffs made room for a new Coal Store, 260 feet in length. Additional land was acquired in a piecemeal fashion and an Office and Stores building was erected on the south corner of High Street. A new Exhauster House was built into the cliff excavation and new Condensers, Purifiers and a new Governor House were also constructed</p>

Date	Event
	<p>Figure 5: North Shore Gas Company commenced construction of a large new inclined retort house and associated coal store. The imposing mass of the buildings dominated Neutral Bay, shown here in 1917. Source: HMAS Platypus CMP, 2008</p>
1932	Production of gas at Neutral Bay ceased
1942	<p>The gas works site, situated on the harbour and in proximity to the existing Navy Torpedo Depot at Garden Island, was considered an ideal location for the establishment of a torpedo factory. Initially it was planned to reuse the existing factory buildings, however in order to meet the production program most were demolished. The only buildings retained were the Retort House, the Gatehouse on High Street, the Exhauster House and part of the Coal Stores. Two Torpedo Maintenance Workshops were erected on the lower level of Platypus. The Royal Australian Navy Torpedo Maintenance Establishment Building (RANTME Factory) was built on the southern side of the access cutting.</p>
1943	One holder was removed as it was leaking excessively
1964	<p>A three-year plan was implemented to commission part of the RANTE site at Neutral Bay as a support base for Australia's six Oberon-class submarines. The sheds on the waterfront were converted to submarine workshops and torpedo maintenance was transferred to the RANTME Factory. A new free-standing concrete wharf had to be constructed which could accommodate all six submarines.</p>
	<p>Figure 6: Five of Australia's six Oberon class submarines alongside HMAS Platypus, 1986 (Source: The Trade: a newsletter for the deep thinker, December 2005, p. 5/ <a href="http://www.navy.gov.au/publications/trade/dec05/index.html">www.navy.gov.au/publications/trade/dec05/index.html</a>)</p>
1970s	A second holder was dismantled.
1980s	<p>The North Shore Gas Company and AGL merged in 1980 and the third gas holder remaining on the Neutral Bay site was modified to store natural gas for emergencies. AGL retained part of the site until 1983 when it was sold and redeveloped for the 'Iora' residential development.</p>
1999	<p>HMAS Platypus and the Torpedo workshops were closed in 1999 when the Commonwealth transferred the submarine base to HMAS Stirling in Western Australia. The Torpedo Maintenance Workshops were transferred to the Missile Maintenance Facility at Kingswood. The Department of Defence embarked on plans to dispose of the site.</p>

Date	Event
2005	The Commonwealth Government announced the handover of the site to the Sydney Harbour Federation Trust for the purpose of rehabilitating the site as a public park.
	 <p data-bbox="1129 607 1442 696">Figure 7: View of Platypus as seen from Neutral Bay as it was in c.2008</p>
Post 2005	<p data-bbox="331 712 1442 846">As a result of its former use as a Gasworks and Defence base, significant contamination was present on site when it was transferred to the Harbour Trust in 2005. The Platypus Remediation Project was carried out by the Harbour Trust from 2010-2016 in two stages. As part of the remediation works a number of buildings were demolished, including:</p> <ul data-bbox="339 864 1442 1122" style="list-style-type: none"> <li>• the former three storey Naval Administration Building (Building 8) and its adjoining lift shaft,</li> <li>• the single storey former Flammable Liquids Store (Building 7),</li> <li>• former Boatswains Store (Building 16) on the southern end of the Submarine Wharf</li> <li>• part of the Submarine Wharf (100 metres) retaining the raker piles and headstocks at both ends,</li> </ul> <p data-bbox="331 1128 1442 1189">There has also been changes to the topography and landscaping works in the northern precinct of the site following extensive remediation of the land resulting in the creation of the Northern Park.</p>
	 <p data-bbox="1129 1603 1442 1659">Figure 8: Recent photograph of the site (2017)</p>



**BEFORE**



Figure 9: Building 8 with lift shaft once located at the northern end of the site. The lift provided access from the Upper Level Car Park to the Waterfront Level.



Figure 11: Pre-2012 view from Adderstone Avenue looking south to top of lift shaft for Building 8. Source: SHFT, Google Streetview

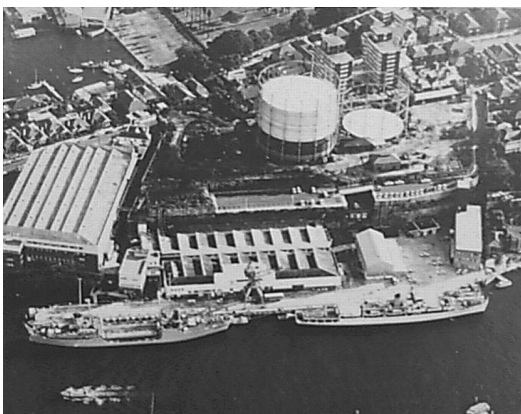


Figure 13: Aerial photograph of Platypus in c.1940s. Source: SHFT

**CURRENT**



Figure 10: View of the Northern Park and cliff in area where Building 8 was once located.



Figure 12: Recent view from Adderstone Avenue looking south following demolition of Building 8 and lift shaft.



Figure 14: Aerial photograph of Platypus as it is today. Source: GoogleMaps, 2017

## **3 The Proposal**

### **3.1 Documents Describing the Proposal**

The proposed works are described in the following documents:

- *Platypus Renewal Project Schematic Design*, prepared by Aspect Studios and Lahznimmo Architects, dated July 2017

### **3.2 Summary of Proposed Works**

In summary, the proposed works are as follows:

#### ***Gatehouse and Plaza***

- Building 4 (Gatehouse) – improvement to building façade and internal refurbishment and adaptation works as 2 x 2 bed apartments including a change of use from office space to residential uses
- Introduction of benches and planter boxes and part demolition of wall facing High Street to create a public plaza including two (2) parking spaces for the Gatehouse residents (adjacent to Gatehouse)

#### ***Lifts, Stairs and Cliff Walk***

- Construction of lift and stairs adjoining Building 2 (the Submarine School) with below ground connection to existing tunnel,
- Construction of a cantilevered walkway along the eastern elevation of the coal stores connecting to new lift and stairs and leading to Upper Level Car Park
- Construction of a new bridge to provide an accessible path of travel connecting Building 1 (RANTME Factory) to cantilevered walkway (includes demolition of the existing bridge).

#### ***New Arrival Square***

- Landscaping to create a new public square with benches and plantings.
- Construction of stairs to link through to the “Cutting” (these works will follow demolition of Building 3 which is not part of this proposal)

#### ***Submarine Wharf and Kesterton Park Link***

- Construction of composite timber and part fibreglass reinforced plastic (FRP) deck and metal balustrade connecting the Submarine Wharf to Kesterton Park (the Kesterton Park Link)
- Construction of metal and timber framed pontoon with gangways and kayak landing steps connected to the Kesterton Park Link
- Introduction of benches, shade structures and planter boxes to the Submarine Wharf promenade

#### ***Northern Park: Stairs and Children’s Play Facilities***

- Construction of FRP multi-flight stair case and balustrade linking Upper Level Car Park and the Northern Park fixed to existing sandstone cutting face.
- Introduction of playground equipment, tables and bench seating, BBQs and landscaping to the Northern Park.

#### ***FIMA Workshop and Submarine School***

- Building 2 (Submarine School) – modifications to external building fabric including penetrations for new windows and doors, new public toilets, base building refurbishment (services, toilets, basic lighting)

- Building 10 (FIMA Workshop) – Partial demolition of central bays of Building 10 to accommodate new courtyard linking the Laneway with the Submarine Wharf
- Building 10 (FIMA Workshop) – modifications to external building fabric including new awnings and penetrations for new windows and doors, base building refurbishment (services, toilets, bin store, basic lighting)
- Addition of air conditioning plant and equipment to roof level of Buildings 2 and 10
- Surface treatments and planter boxes to the Laneway (between Buildings 10 and 2)

### ***Carparking Provisions***

- Adapt part of the RANTME Factory as a carpark for up to 30 vehicles (parking for construction vehicles only during works, casual public parking once works have been completed)
- Upgrade Upper Level Car Park including demolition of existing access gate and gatehouse and introduce new access control solution (lockable gate), safety barriers, handrails, line markings and bike racks (use of this carpark is generally for regular parking e.g. staff, regular clients) with some low level plantings in boxes.

### ***Other Works***

- Install site interpretation, wayfinding signs and statutory signage throughout
- Install low level lighting and power supply to new Kesterton Park Link, along the Submarine Wharf, throughout the Northern Park and new Arrival Square and Gateway Plaza
- Upgrade/install new security lighting poles and CCTV (to monitor Harbour Trust managed lands only) adjacent to entrances

### ***Kesterton Park (Adjacent Lands)***

- Minor works to connect the Kesterton Park Link to Kesterton Park

## **4 Methodology**

The following Visual Impact Assessment will be undertaken in two parts:

**Assessment 1:** Consider potential impacts such as changed or obstructed views of the Platypus from the surrounding public domain (land and water). (**Public Domain Views**)

**Assessment 2:** To considered whether the proposed works will result in adverse impacts on existing available views of the public domain from adjacent private properties (**Private View Sharing**).

### **4.1 Assessment 1 Methodology: Public Domain Views**

This assessment addresses the visual impacts of the proposed changes to Platypus as viewed from public domain spaces (i.e. parks, streets, wharfs etc.) within the visual catchment of the site.

This assessment follows the structure outlined in the *RMS Environmental Impact Assessment Practice Note EIA-N04 - Guideline for landscape character and visual impact assessment*. (EIA- No4 Guideline) March 2013. The guideline differentiates between visual assessment (the impact on views), and landscape character (the impact on an area's built, natural and cultural character or sense of place). An assessment on the impacts on the landscape character of Platypus does not form part of this report.

EIA-N04 Guideline refers to visual assessment as the assessment of impact on views. It addresses people's views of an area, in this instance, Platypus, from their homes or other places of value in the community. Visual impact assessments refer to the quality of a view, type of viewer, number of viewers, and how sensitive it is to the proposed change, while magnitude refers to the nature (eg. scale, colour, reflectivity, materials) of the project and its proximity to the viewer.

Tasks outlined in the guide in relation to impacts on views include:

- Assess the visibility of the proposal.
- Identify key viewpoints.
- Assess visual impacts.
- Refine the concept design to avoid and minimise visual impacts (if required).
- Develop a mitigation strategy to minimise visual impacts (if required).

The assessment grading for the visual impact assessment is set out in Table 1 below. Through this table, impact is assessed based on both the sensitivity and magnitude. Based on the two assessment criteria a judgement is made as to the quality of the design outcome

		Magnitude			
		High	Moderate	Low	Negligible
Sensitivity	High	High Impact	High-Moderate	Moderate	Negligible
	Moderate	High-Moderate	Moderate	Moderate-low	Negligible
	Low	Moderate	Moderate-Low	Low	Negligible
	Negligible	Negligible	Negligible	Negligible	Negligible
	Negligible	Negligible	Negligible	Negligible	Negligible

Table 1: Visual impact grading matrix

#### 4.1.1 Potential Visible Elements

Of the proposed scope of works, only substantial changes to the site, including new buildings and structures, have been addressed as part of the assessment as they are assumed to be most clearly visible from the public domain in the vicinity. Although minor works such as landscaping and other ancillary development may be visible, it is not expected that these works will result in detracting or intrusive changes to existing views of Platypus. The following elements of the proposal as described in Table 2 are those that have been determined as having the potential to be highly visible from the surrounding public domain.

The proposed location of these elements are shown in Figure 15.

Table 2: Potential Visible Elements

Item	Description
A	Kesterton Park Link
B	Works to the Submarine Wharf and the east elevation of the RANTME Workshop building
C	Arrivals Square (following demolition of the RANTME Office building)
D	New lift tower with bridge
E	Cantilevered walkway
F	Demolition of two central bays of the RANTME Workshop building
G	New stairs between Upper Level Car Park and the Northern Park
H	Gateway Plaza and the Gatehouse
I	Upper Level Car Park



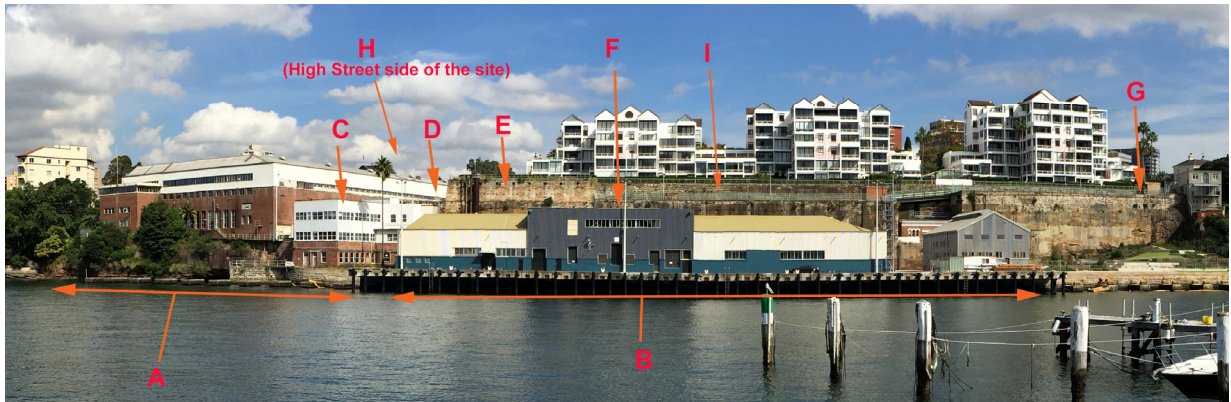


Figure 15: Existing view of the Platypus identifying the location of potential visible elements as a result of the current proposal.

## 4.2 Assessment 2 Methodology: Private View Sharing

This assessment is to consider whether the proposed works will result in adverse impacts on existing views from adjacent residential properties.

This assessment has been undertaken in accordance with the Planning Principle contained in *Tenacity Consulting v Warringah* [2004] NSWLEC 140 which sets out the planning principle for considering the acceptability of the impact of a proposed development on the views enjoyed from private properties in the vicinity of the development.

The notion of view sharing is when a property enjoys existing views and a proposed development would share that view by taking some of it away for its own enjoyment. To decide whether or not view sharing is reasonable, the court developed a four-step process of assessment:

- Step 1* assessment of views to be affected, noting that water views are valued more highly than land views and iconic views are valued more highly than views without icons (e.g. Sydney Harbour Bridge and the like) and that whole views are valued more highly than partial views.
- Step 2* consider what part of a private property the views are available from (i.e. principle living areas and private open space or non-habitable rooms)
- Step 3* assess the extent of the impact for the whole of the property, not just for the view that is affected.
- Step 4* assess the reasonableness of the proposal that is causing the impact.

The final question to be asked is whether a more skilful design could provide the applicant/proponent with the same development potential and amenity and reduce the impact on the views of neighbours. If the answer to that question is no, then the view impact of the development would probably be considered acceptable and the view sharing reasonable.

## 5 Visual Impact Assessment

### 5.1 Assessment 1: Public Domain Views

The proposed works to Platypus involves the introduction of new built elements (stairs, cantilevered walkway, bridge and lift), additional landscaping to the Northern Park, creation of new courtyards along the waterfront, demolition of a building (gatehouse at Upper Level Car Park), partial demolition of the FIMA Workshop building (Building 10) on the waterfront and the construction of an overwater walkway with pontoon linking the Submarine Wharf to Kesterton Park to the south. Other works generally throughout the site that have the potential to be seen from the surrounding public domain areas include new lighting, signage and landscaping.

#### 5.1.1 Key Viewpoints

The key viewpoints for this assessment are described in Figure 16.

The selection of viewpoints, for discussion, has been based on identifying accessible public domain spaces (i.e. parks, streets and wharves) that provide views of Platypus. The key viewpoints have been selected at a range of distances (short, medium and long) from Platypus and therefore provide a range of view types.

Distance zones have been established within the visual catchment of Platypus to aid in assessing the impact on key views. These zones are shown in Figure 17 and referenced in Table 4. Distance has been broken down into:

- Foreground zone (FZ): 0-300m from the viewer
- Middle ground zone (MZ): 300m to 500m from the proposed works.

The visual impact of each key viewpoint is established through an assessment of the sensitivity of the view combined with the magnitude of the proposal within that viewpoint. The impact is then determined by using Table 1 and the viewpoints shown in Figure 16.

#### *Sensitivity*

Sensitivity is defined as “*The sensitivity of a landscape character zone or view and its capacity to absorb change*”.<sup>1</sup> In the case of visual impact this also relates to the type of viewer and number of viewers. For example:

- Do people deliberately seek the view, is it identified in tourist guides or part of a tourist route?
- Do certain groups of people or a community ascribe cultural and historical values to the visual environment and the elements within it?
- Do local residents have existing attractive views of the site?
- Is the view a focus from surrounding public open spaces, for example, lookouts or parks, which are visited by the public?

#### *Magnitude*

Magnitude is defined as “*The measurement of the scale, form and character of a development proposal when compared to the existing condition*”.<sup>2</sup> In the case of visual assessment this also relates to how far the proposal is from the viewer.

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<sup>1</sup> Roads and Maritime Service, EIA No4 Guidelines, 2013

<sup>2</sup> Ibid.

A high magnitude results if the proposal is of a major scale and is considered out of scale or uncharacteristic of the existing visual character, or if there is considerable modification to the existing landscape.

A moderate magnitude would result if the proposal is prominent but not considered to be substantially uncharacteristic with the existing visual character.

A low magnitude results if there is minimal alteration to the existing view and the proposal is of a scale and nature that is consistent with the existing visual character.<sup>3</sup>

Table 3: Key Viewpoints

<b>View No.</b>	<b>Description</b>
1	View from the northern end of Kesterton Park looking northwest to the end of the Submarine Wharf
2	View from the High Street Ferry Wharf looking northwest to end of the Submarine Wharf.
3	View from High Street looking east, northeast and southeast to the site
4	View from Kiara Close looking southeast to the Upper Level Car Park
5	View from Adderstone Avenue looking southeast
6	View from the west end of Anderson Park looking south along east face of the site
7	View from east side of Anderson Park looking southwest to the site
8	Views from Kurraba Road and adjacent public walkways to the southwest to the site
9	Views from Kurraba Road and adjacent public walkways to the southwest to the site
10	Views from Ben Boyd Road looking southwest to the site
11	View from eastern foreshore of Neutral Bay looking west to the site
12	View from end of Neutral Bay Pier looking west to the site
13	View from west end of Hayes Street looking west to the site
14	View from Neutral Bay Ferry Wharf looking west to the site
15	View from Spains Wharf Road Reserve looking west to the site
16	View from Kurraba Point Wharf looking west to the site
17	View from northern end of Kurraba Reserve looking northwest to the site
18	View from steps to Kurraba Reserve looking northwest to the site
19	View from Hodgsons Lookout looking northwest to the site
20	View from southern end of Kurraba Reserve looking northwest to the site

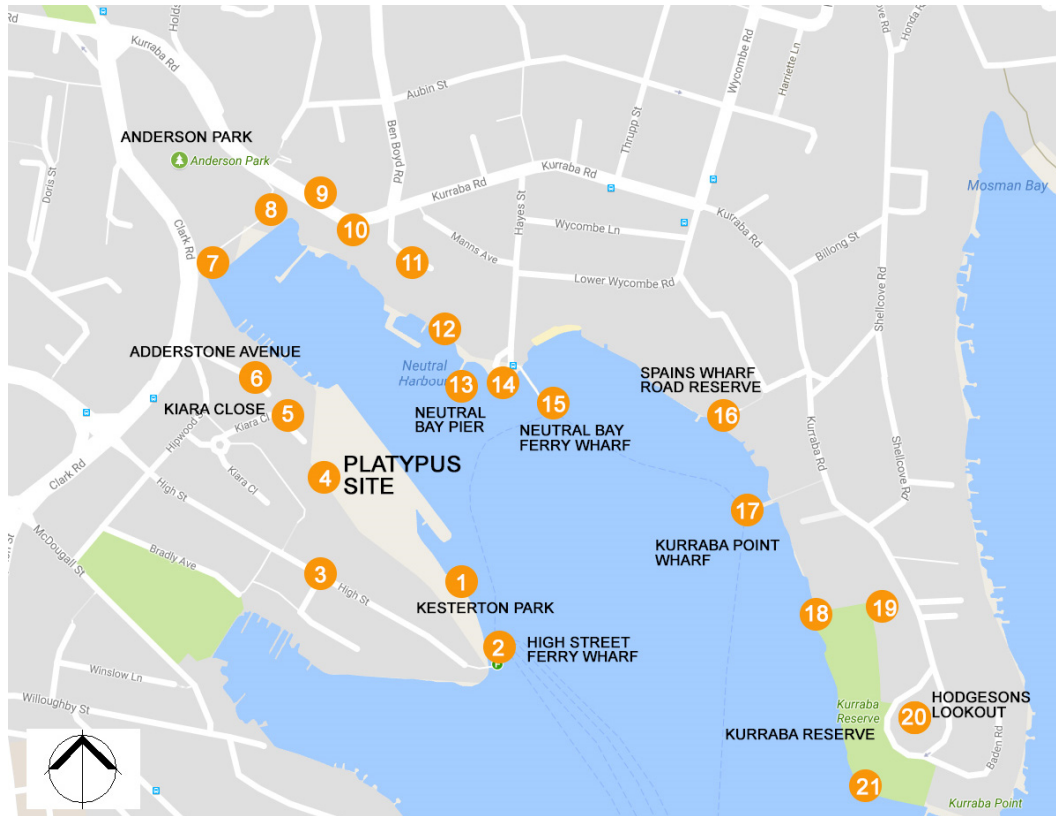


Figure 16: Key Viewpoints from the surrounding public domain areas to Platypus



Figure 17: Visual Catchment of the Platypus



## Visual Impact Assessment: Public Domain Views


### Legend:


<b>1 to 21</b>	Key Viewpoints (refer to Figure 16 and Table 3 above)
<b>A to I</b>	Potential Visible Elements (refer to Figure 15 and Table 2 above)
<b>FZ</b>	Foreground zone: 0-300m from the viewer
<b>MZ</b>	Middle ground zone: 300m to 500m from the proposed works.



Sensitivity		Magnitude	
<b>H</b>	<ul style="list-style-type: none"> <li>Broad-scale views of Platypus containing elements of historic, aesthetic and/or social significance.</li> <li>Viewed by large numbers of people or is a view specifically sought out by viewers.</li> </ul>	<b>H</b>	<ul style="list-style-type: none"> <li>All or majority of key visible elements of the proposal will be visible. Prominent.</li> <li>Considerable change to existing view and proposal is out of scale or inconsistent with the character of Platypus.</li> </ul>
<b>M</b>	<ul style="list-style-type: none"> <li>Broad-scale or partial views of Platypus providing some understanding of overall visual context of the site.</li> <li>Viewed by a moderate number of people or forms only a small part of a view of the broader local area.</li> </ul>	<b>M</b>	<ul style="list-style-type: none"> <li>Some of the key visible elements of the proposal will be visible. Somewhat prominent.</li> <li>Proposal is not considered to be substantially out of character or scale with Platypus.</li> </ul>
<b>L</b>	<ul style="list-style-type: none"> <li>Part or glimpsed views of Platypus</li> <li>Viewed by small numbers of people or comprises only a small part of a valued view</li> </ul>	<b>L</b>	<ul style="list-style-type: none"> <li>One or none of the key visible elements of the proposal will be visible. Not prominent.</li> <li>Proposal is consistent with the scale and character of the site.</li> </ul>



Overall Ranking	
<b>H</b>	High impacts: Great change to view with detracting elements and impacting on large numbers of viewers.
<b>M</b>	Moderate impacts: some change to view but no loss of context and no detracting elements. Impacting on a moderate number of viewers.
<b>L</b>	Little impacts: Little or no change to existing view, in keeping with the scale and character of the site. Small numbers of viewers or not the main focus for viewers of the locality.

Table 4: Visual Impact Assessment: Public Domain Views



No.	Location	Potential Visible Elements	Sensitivity	Magnitude	Distance zone	Overall rating	Comments	Photograph of Viewpoint
1	View from the northern end of Kesterton Park looking northwest to the end of the Submarine Wharf	A and C	M	L	FZ	M - L	<p>High visibility within a short range and potentially a large number of viewers, however only a small component of Platypus is visible. The view is not a prominent view of Platypus and the view is not the main focus for visitors to Kesterton Park.</p> <p>The potential visible elements will not be prominent, located at water level or comprising landscaping and the works will be in keeping with the use and character of Platypus. The security gate at the southern end of the Kesterton Park Link has some potential of obscuring views from the park to the Submarine Wharf, however as this is not considered an important view, the impact is considered to be <b>Moderate to Low</b>.</p>	 <p>Figure 18: View 1 from north end of Kesterton Park</p>



No.	Location	Potential Visible Elements	Sensitivity	Magnitude	Distance zone	Overall rating	Comments	Photograph of Viewpoint
2	View from High Street Ferry Wharf looking northwest to end of the Submarine Wharf	A	L	L	FZ	L	<p>Moderate visibility within a short range and potentially a large number of viewers, however only a small component of Platypus is visible. The view is not a prominent view of Platypus and the view is not the main focus for visitors to the ferry wharf.</p> <p>The potential visible elements will not be prominent as they are located at water level and will in keeping with the use and character of Platypus. The impact is considered to be <b>Low</b>.</p>	 <p>Figure 19: View 2 from High Street Ferry Wharf looking northwest to the Submarine Wharf</p>



No.	Location	Potential Visible Elements	Sensitivity	Magnitude	Distance zone	Overall rating	Comments	Photograph of Viewpoint
3	View from High Street looking east, northeast and southeast to the site	H	M	M	FZ	M	<p>Not a principal view of Platypus although it does contain important views of the Cutting, an key feature of the site. A moderate number of viewers, although typically the public and local residents will be passing by and not focussing on the view.</p> <p>Prominent views of the proposed changes to the exteriors of the Gatehouse and the landscaping works to the Plaza will be available including the alterations to the front perimeter wall. However, the overall form and scale of the existing structures will not be altered and views of the RANTME Factory and the Cutting will be retained as is. The impact is considered to be <b>Moderate</b>.</p>	 <p>Figure 20: View 3 from High Street</p>  <p>Figure 21: View 3 from High Street showing the vehicular entry and brick boundary wall to the Plaza area. The RANTME Factory is seen in the background.</p>

No.	Location	Potential Visible Elements	Sensitivity	Magnitude	Distance zone	Overall rating	Comments	Photograph of Viewpoint
4	View from Kiara Close looking east to the Upper Level Car Park	G	L	N	FZ	L/N	<p>The removal of the existing gate house will provide improved views of the waters of Neutral Bay from along Kiara Close. Only a small portion of the top of the stairs will be visible above the ground level of the car park and only a small number of viewers will be accessing the area. It is not a principal view of the site.</p> <p>The impact is considered to be <b>Low</b>.</p>	 <p>Figure 22: View 2 from Kiara Close</p>
5	View from Adderstone Avenue looking southeast	G	N	N	FZ	N	<p>The stairs are located to the west of the view behind existing buildings. The proposed works will not be visible. As a cul-de-sac, there will be very small numbers of viewers in this area.</p> <p>The impact is considered to be <b>Nil</b>.</p>	 <p>Figure 23: View 3 from Adderstone Avenue</p>







No.	Location	Potential Visible Elements	Sensitivity	Magnitude	Distance zone	Overall rating	Comments	Photograph of Viewpoint
6	View from the west end of Anderson Park looking south along east face of the site	B	L	L	FZ	L	<p>There is the potential for views of the Submarine Wharf to be available if and when the boats moored between Platypus and Anderson Park are absent. However, most visible works will be at the level of the wharf and the water and will replace the pre-existing deck. The proposal will not impact greatly on existing views of the Harbour or of Platypus as seen from the park.</p> <p>Potentially a large number of viewers, however, views of Platypus do not form part of the main focus of views from this area. The impact is considered to be <b>Low</b>.</p>	 <p>Figure 24: View 4 from Anderson Park</p>
7	View from east side of Anderson Park looking southwest to the site	B, D, E and G	L	L	FZ	L	<p>Oblique views of the new elements will be visible however, they should not be clearly discernible amongst the existing development in and around Platypus. All new element are in keeping with the scale and character of Platypus and will not be detracting elements.</p> <p>Potentially a large number of viewers, however, views of Platypus do not form part of the main focus of views from this area. Views of Neutral Bay and the Harbour beyond will be retained. The impact is considered to be <b>Low</b>.</p>	 <p>Figure 25: View 5 from Anderson Park</p>



No.	Location	Potential Visible Elements	Sensitivity	Magnitude	Distance zone	Overall rating	Comments	Photograph of Viewpoint
8	Views from Kurraba Road and adjacent public walkways to the southwest to the site	G	L	M-L	FZ	L	<p>The proposed stairs will be visible against the exposed cliff face however as they are industrial in character and lightweight, they should blend in with the character of Platypus. The new stairs have been located discreetly at the northern end of the site and views of this element will be obscured.</p> <p>Only small numbers of viewers and Platypus is not the main focus of available views.</p> <p>The impact is considered to be <b>Low</b>.</p>	 <p>Figure 26: View 6 from Kurraba Road</p>
7	Views from Kurraba Road and adjacent public walkways to the southwest to the site	A, B and C	M	M	FZ	M	<p>Partially obscured and glimpsed views only will be available of the visible elements, however as they are designed to be in keeping with character of the site they will not be seen as detracting elements. The main features of the site will remain visible, that is the Submarine Wharf.</p> <p>The impact is considered to be <b>Moderate</b>.</p>	 <p>Figure 27: View 7 from Kurraba Road</p>

No.	Location	Potential Visible Elements	Sensitivity	Magnitude	Distance zone	Overall rating	Comments	Photograph of Viewpoint
8	Views from Ben Boyd Road looking southwest to the site	G	L	L	FZ	L	<p>Distant views of the stairs will be available however, they will appear as a very minor change to the existing view of Platypus and not an obvious or detracting element within the landscape. The views of the cliff face will be retained.</p> <p>The impact is considered to be <b>Low</b>.</p>	 <p>Figure 28: View 8 from Ben Boyd Road</p>
9	View from eastern foreshore of Neutral Bay looking west to the site	A, B, C, D	H	M	FZ	H-M	<p>Views of the proposed Kesterton Bridge Link and the new Arrivals Square will be prominent however, as the proposal involves works at the wharf and water level and the introduction of a new open space with landscaping, they will not be detracting elements in existing views. Following the demolition of the RANTME Admin (Building 3- demolition of this building does form part of this assessment) there is also the potential for the lift and bridge to be visible, although these views are distant and are in keeping with the scale and character of the site. The impacts are considered to be <b>High to Moderate</b>.</p>	 <p>Figure 29: View 9 from foreshore of Neutral Bay</p>






No.	Location	Potential Visible Elements	Sensitivity	Magnitude	Distance zone	Overall rating	Comments	Photograph of Viewpoint
10	View from end of Neutral Bay Pier looking west to the site	B, F, G and I	H	M	FZ	H-M	Direct views of the site will be changed as a result of the work, in particular the proposed changes to the FIMA Workshop (Building 10) as well as the new stair and landscape works to the Northern Park and Upper Car Park Level. The overall scale and character of Platypus will be retained. Potentially large numbers of viewers, although views of the existing historic buildings, the Submarine Wharf and the exposed cliff face will remain and the proposed works are in keeping with the character and scale of Platypus. The impacts are considered to be <b>High to Moderate</b> .	 <p>Figure 30: View 10 from the Neutral Bay Pier</p>
11	View from west end of Hayes Street looking west to the site	B, C, D, E, F and G	H	M	FZ	H	As above, direct views of the site will be altered as a result of the proposed works, however, views of the historic buildings, the Submarine Wharf and the exposed cliff face will remain. Additional views into the site will be made available following the demolition of the RANTME Admin building and the central bays of the RANTME Workshop building. The proposed lift, cantilevered walkway and stairs are at a greater distance and will not be intrusive or obvious in the existing view. The impacts are considered to be <b>High to Moderate</b> .	 <p>Figure 31: View 11 from Hayes Street</p>

No.	Location	Potential Visible Elements	Sensitivity	Magnitude	Distance zone	Overall rating	Comments	Photograph of Viewpoint
12	View from Neutral Bay Ferry Wharf looking west to the site	B, E, F and G	M	M	FZ	M	As above, direct views of the site will be altered as a result of the proposed works, however, views of the heritage buildings and the exposed cliff face will remain. The proposed cantilevered walkway and stairs are at a greatest distance and will not be intrusive or obvious in the existing view. Other visible changes include landscaping works to the Northern Park, however these works should result in very minor changes to the existing view. The impacts are considered to be <b>Moderate</b> .	 <p data-bbox="1541 719 2130 746">Figure 32: View 12 from the Neutral Bay Ferry Wharf</p>
13	View from Spains Wharf Road Reserve looking west to the site	A	H	M	MZ	M	<p data-bbox="1099 767 1516 986">The proposed Kesterton Park Link will be clearly visible in the existing view, however as the majority of the works are at water level and are in keeping with use and character of the waterfront, the visible elements will not be detracting or intrusive.</p> <p data-bbox="1099 1027 1458 1082">The impacts are considered to be <b>Moderate</b>.</p>	 <p data-bbox="1541 1198 2130 1225">Figure 33: View 13 from Spains Wharf Road Reserve</p>

No.	Location	Potential Visible Elements	Sensitivity	Magnitude	Distance zone	Overall rating	Comments	Photograph of Viewpoint
14	View from Kurraba Point Wharf looking west to the site	A, B, C and F	L	N	MZ	L	Views of Platypus are at such a distance that the visible elements will not be clearly discernible in amongst the existing buildings and features on site. The impacts are considered to be <b>Low</b> .	 <p>Figure 34: View 14 from Kurraba Point Wharf</p>
15	View from northern end of Kurraba Reserve looking northwest to the site	A, B, C, D, E and F	M	M	MZ	M	Clear views of the new elements will be available although the principal features of the site including the Factory building, the FIMA Workshop building and the exposed cliff face will remain clearly visible. The Kesterton Park Link will be visible at water level and the changes to the FIMA Workshop building, as well as the new Arrival Square. However, new features and changes to Platypus will be small in the view and in keeping with the character and scale of the site. The impacts are considered to be <b>Moderate</b> .	 <p>Figure 35: View 15 from Kurraba Reserve</p>



No.	Location	Potential Visible Elements	Sensitivity	Magnitude	Distance zone	Overall rating	Comments	Photograph of Viewpoint
16	View from steps to Kurraba Reserve looking northwest to the site	-	N	N	MZ	N	Due to the proximity of nearby residential development and landscaping, views of the Platypus are not available from within Kurraba Reserve. There are no impacts on views.	 <p data-bbox="1536 719 2128 746">Figure 36: View 16 from Kurraba Reserve</p>
17	View from Hodgsons Lookout looking northwest to the site	-	N	N	MZ	N	Due to existing landscaping, views of Platypus are not available from Hodgsons Lookout. There are no impacts on views.	 <p data-bbox="1536 1198 2128 1252">Figure 37: View 17 from Hodgsons Lookout</p>

No.	Location	Potential Visible Elements	Sensitivity	Magnitude	Distance zone	Overall rating	Comments	Photograph of Viewpoint
18	View from southern end of Kurraba Reserve looking northwest to the site	A, B, C and E	M	M	FZ	H-M	<p>Clear views of the new elements will be available although the principal features of the site including the Factory building and the exposed cliff face will remain clearly visible. The Kesterton Park Link will be visible at water level and the changes to the FIMA Workshop building, as well as the new Arrival Square (following demolition of Building 3). However, the new features and changes to Platypus will be relatively small in the view and in keeping with the character and scale of the site.</p> <p>The impacts are considered to be <b>Moderate</b>.</p>	 <p>Figure 38: View 18 from Kurraba Reserve</p>

### 5.1.2 Visual Impact Summary

The overall visual impact of the proposed works on existing views of Platypus from the surrounding public domain is considered to be **Moderate to Low**. Direct views of the site from the public domain areas located on the western foreshore of Neutral Bay are most affected by the proposed changes and have the potential to have High to Moderate impacts on existing views of Platypus. However the works are considered to be in keeping with the overall scale, form and character of Platypus and the key features of the site will remain clearly discernible, including the cliff face, the FIMA Workshop, the RANTME Factory and the Retort House.

A summary of the potential impacts and suggestions for mitigation measures (where required) for each visible element is provided below.

#### ***Visible Element A: Kesterton Park Link.***

Although relatively lengthy, the scale of the proposed walkway and pontoon need not be out of character with the harbour-side location. In addition, the nature of the lightweight structure, low to the water, with minimum handrails is, in our view, not unexpected and entirely usual around the inner-Sydney Harbour.

The appearance of the proposal in short range views of the place will not cause any visual distraction from the appreciation of the remainder of the place nor obscure views to other places of visual interest.

The proposal will be most evident in the mid-range views from Neutral Bay foreshore and will partially obscure views to the sea wall behind and the natural rock shelves beneath. However, provided the walkway is of an open design, the proposal will not, in our view, spoil these views nor will it, due to its scale, affect the appreciation of the subject site.

The proposed lighting of the walkway has potential to make this element prominent at night and a condition of approval should be included to control lighting levels and glare.

In long range views available of the proposal, it will be altogether too small and too close to the water level to be notable apart from lighting at night (discussed above).

#### ***Visible Element B: Works to the Submarine Wharf and east elevation of the RANTME Workshop building***

Works to the Submarine Wharf and east elevation of the RANTME Workshop building, although relatively minor will result in partially obscuring views of the Workshop building as a result of the introduction of landscaping and public domain features (the pergolas and planter boxes etc.). This work has the potential of obscuring views of the Submarine Wharf in such a way that an understanding of what the structure is (or was) will not be clearly understood. New elements introduced to the wharf should be kept to a minimum and marine/industrial in character.

The RANTME Workshop building is one the most prominent visual features of the site and mid and long range views are available of the building throughout the surrounding area. It is recommended that the pergola and landscaping proposed for the east elevation of the building be articulated so that the whole of the original building remains readable in the broader landscape, rather than obscured by new elements.

Any proposed lighting has the potential to make this element prominent at night and a condition of approval should be included to control lighting levels and glare.

***Visible Element C: Arrivals Square***

The new Arrivals Square is to be formed in the locality of the existing RANTME Admin building which is to be demolished (not part of this proposal). The works will involve the introduction of hard and soft landscaping leading to the waterfront. The demolition of the existing building will open-up additional views into the site, revealing more of the topography of the site.

The appearance of the proposal in short range views of the place will not cause any visual distraction from the appreciation of the remainder of the place nor obscure views to other places of visual interest.

Mid-range and long-range views will be small and as the works involve landscaping, this new area of the site will essentially blend with the existing landscaping of Kesterton Park and the waterfront as well as the new landscaping and public domain features proposed for the Submarine Wharf.

Again, any proposed lighting has the potential to make this are prominent at night and a condition of approval should be included to control lighting levels and glare.

***Visible Element D: New lift tower with bridge***

The new lift tower with bridge will not be an obvious new feature when seen in mid-range and long-range views. Available short-range views are only from the waters of Neutral Bay and views of this visible element will only be partial, limited to the top section of the lift tower and portions of the bridge as the RANTME Workshop building and the Coal Stores block most available views from the east and west.

The demolition of the RANTME Admin building will allow for improved views into the site. The lift tower and bridge should be designed to be in keeping with the industrial character of the site.

***Visible Element E: Cantilevered walkway***

Mid-range and long-range views will be available and as the walkway is proposed to run across the east elevation of the former Coal Stores and the exposed cliff face (both significant elements), there is some potential for these significant elements to be partially obscured. However, the cantilevered walkway will be a lightweight structure using recessive colours and materials and so long as the walkway is of an open design, the proposal will not, in our view, spoil any available views of these areas of Platypus.

In addition, long range views of the proposal will be altogether too small to be considered detracting or intrusive.

The proposed lighting of the walkway has potential to make this element prominent at night and a condition of approval should be included to control lighting levels and glare.

***Visible Element F: Demolition of two central bays of the FIMA Workshop building***

As discussed above, the FIMA Workshop building is a prominent visual element of Platypus with mid-range and long-range views available from through the locality. The proposal involves altering its existing configuration via the demolition of two central bays to form a new public square.

It is therefore recommended that the existing form of the building be interpreted as part of the detailed design for the proposed works so that the entire original length, height and form of the building can still be understood in views of the broader landscape.

***Visible Element G: New stairs between Upper Level Car Park and the Northern Park***

Although the height of the proposed steel stair is large, its scale in relation to the existing cliff face will, in our view, be modest and the proposed stair will cover only a small proportion of the cliff face.

Based on the concept sketches of the stair, the new element will a lightweight structure using recessive colours and materials can be designed to be in keeping with the industrial character of the place. Given that a three-storey brick structure was previously located in this area (see Figure 9 above), the new element will have minimal visual impacts in comparison.

In short range views of the proposal a galvanised structural steel stair will, in our view, be in character with the place and should not obscure any archaeology of previous configurations of the place that are a visual interest.

Due to its size the stair will visible in mid-range views from the Neutral Bay shoreline. However due to the industrial nature of the site and the scale of the proposal, the structure will not, in our view, be unexpected or cause visual intrusion.

The proposal includes demolition of the existing gate house and adjustment of the existing fences. However, as these are presently rather unsightly, their adjustments/removal will be an improvement in short range and medium views.

As it is an exposed location the proposed stair will be seen in long range views of the place. However, due to its relative size against the cliff and its proposed location to the far end of the cliff face, the new element will not be a distracting or intrusive visual element.

It is possible that new lighting in the area will give it prominence at night and a condition should be included regarding lighting levels and glare.

***Visible Element H: Gatehouse and Plaza***

The proposed works to the Gatehouse and the formation of the Gateway Plaza will be available in short and mid-range views from along High Street. Works however are considered to be minimal with little change proposed to the form, scale and overall appearance of the Gatehouse.

As a result of the proposed part demolition of the boundary wall on High Street, increased views of the RANTME Factory building and the Gatehouse will be made available. Overall, there will be little visual impact as a result of these changes.

***Visible Element I: Upper Level Car Park***

Proposed works to the Upper Level Car Park are minimal and involve mostly landscaping and traffic management works. Views of the car park are available from the east, although these views are distant and the new elements in this area will be too small to make a discernible visual impact on existing views of Platypus.

Views of the car park are also available from the west, from the public walkway in front of the Iora Apartments, however as the new elements are minor and will not project above the balustrade of the walkway (i.e. low-level plantings), existing views of Platypus will be retained. The new elements for the Upper Level Car Park will consistent with the scale, use and character of this area of the site.



## 5.2 Assessment 2: Private View Sharing

The following view analysis has been undertaken in order to assess potential impacts on existing views of the public domain from the residential properties within the immediate vicinity of the Platypus. In the preparation of this assessment, the following tasks were undertaken:

1. Identification of residential properties with the potential for available high value public domain views to be impacted on. For this locality, high value public domain views are considered to be views of the waters of Neutral Bay and Sydney Harbour beyond.
2. Photographs of available views from the public domain adjacent to the identified residential properties. For this assessment, access into the majority of the identified private properties was not available. However the Harbour Trust were able to access No. 9A Kiara Close and have provided photographs of available views from this property.
3. Analysis of potential impacts on views in accordance with the view sharing Planning Principles contained in *Tenacity Consulting v Warringah* [2004] NSWLEC 140.

### 5.2.1 Identification of Key Adjacent Residential Properties

As Platypus is located on the waterfront of Neutral Bay with neighbouring residential properties located to the north, south and west of the site. Only a small number of adjacent properties with the potential for high value public domain views were identified based on the topography of the land and existing height and scale of the buildings located at Platypus. These are described below and shown in Figure 38.

Property Address	Assumed High Value Public Domain View/s
22A Adderstone Avenue	Located on the waterfront of the western shore of Neutral Bay the property would have views to the southeast across the waters of Neutral Bay to Sydney Harbour beyond.
24 Adderstone Avenue	As above
9 and 9A Kiara Close	Located to the northwest of Platypus at a higher ground level, the properties would have views to the east and southeast across the waters of Neutral Bay to Sydney Harbour beyond.
Iora Apartments (eastern apartments only)	Located directly to the west of Platypus at a higher ground level, the eastern apartments at all levels would have views looking down and to the east and southeast of the waters of Neutral Bay with long-range views of Sydney Harbour to the southeast. Views to the north and northeast would also be available of Anderson Park and the suburb of Neutral Bay beyond.
140 High Street	Located to the southwest of Platypus and to the west of Kesterton Park, located at a higher ground level, the property would have views to the east and southeast across the waters of Neutral Bay to Sydney Harbour beyond. Potentially views to the northeast across Platypus to Anderson Park and the suburb of Neutral Bay beyond.
142 High Street	As above.
144 High Street	As above.
125-165 High Street	Located on the western side of High Street directly opposite Platypus, these properties do not have views to the waters of Neutral Bay or Sydney Harbour.



Figure 39: Aerial view of Platypus and immediate surrounds identifying the key adjacent private properties.



### 5.2.2 Photographs of Potential Available Views

As discussed above, access to the private properties within the locality of the Platypus was not available. Therefore, an assumption of available views from the identified private properties was made based on available public views within the immediate vicinity of these identified properties (excluding No. 9A Kiara Close).



Figure 40: View from the east balcony of No. 9A Kiara Close looking southeast over Platypus to the waters of Neutral Bay and Sydney Harbour in the distance. (Photograph provided by the Harbour Trust, July 2017)

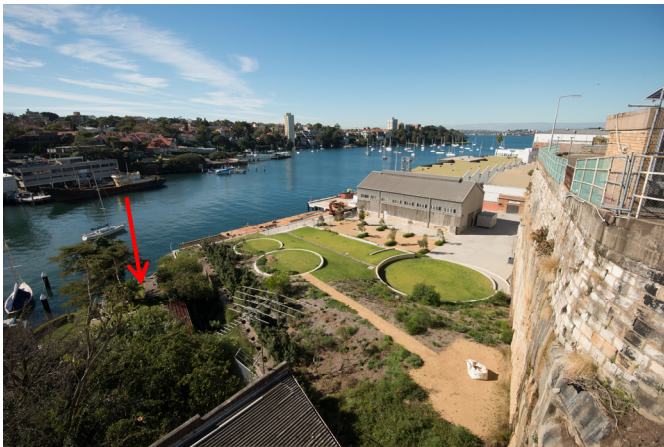


Figure 41: View from the east balcony of No. 9A Kiara Close looking down onto the Northern Park. The property at No. 24 Adderstone Avenue is seen left of frame (indicated with an arrow) and it is assumed that this property and its neighbour at No. 22A Adderstone Avenue would have views of the waters of Neutral Bay to the east and southeast from their front garden areas. (Photograph provided by the Harbour Trust, July 2017)



Figure 42: View from walkway in front of the Iora Apartments looking north over the Upper Level Car Park to Anderson Park. No. 9A Kiara Close is seen in the background.



Figure 43: View from walkway between the Iora Apartments and the Upper Level Car Park at Platypus looking southeast across the Coal Stores to the waters of Neutral Bay.



Figure 44: View looking southeast from the Upper Level Car Park at Platypus to the waters of Neutral Bay and Sydney Harbour beyond. The Iora Apartments would have similar views.



Figure 45: View looking east from garden of No. 140 High Street. Kesterton Park is below.





Figure 46: View looking east from garden of No. 140 High Street. Kesterton Park is below.



Figure 47: View looking northeast from garden of No. 140 High Street. The corner of the RANTME Factory building is seen together with the waters of Neutral Bay beyond.

### 5.2.3 Proposed Works at Platypus

As detailed above, the current proposal for Platypus involves a range of works including landscaping works, new water based structures, partial demolition of the FIMA Workshop building, public domain works, adaptation works and general upgrading works. However, although the proposed works at Platypus are extensive and will cover most of the site only two new structures that form part of the proposal have any potential of interrupting or obscuring existing views of the waters of Neutral Bay from the surrounding residential developments. These are:

1. The proposed stair to the northern-side of the site between the Northern Park and the Upper Level Car Park. This work involves demolishing the existing gate house and the construction of a new stair in same location. Only the balustrade of the stair will project above the ground level of the Upper Level Car Park to a height of 1 metre. The stair will project approximately 3.5 metres from the face of the cliff face into the Northern Park. Refer to Figures 48 and 49.
2. The proposed lift tower to the southern-side of the site is to be located to the south of the Submarine School building. The lift tower will project approximately 2 to 3 metres above the existing footbridge leading to the RANTME Factory building, and will be approximately the same height as the Coal Stores. Refer to Figure 50.

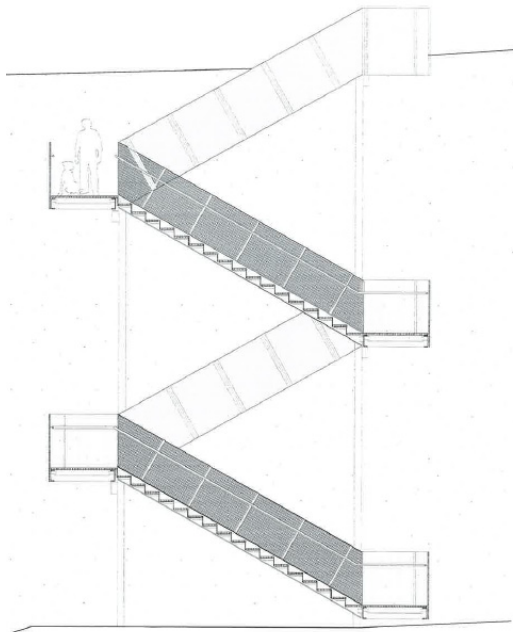


Figure 48: Elevation plan of the proposed stairs

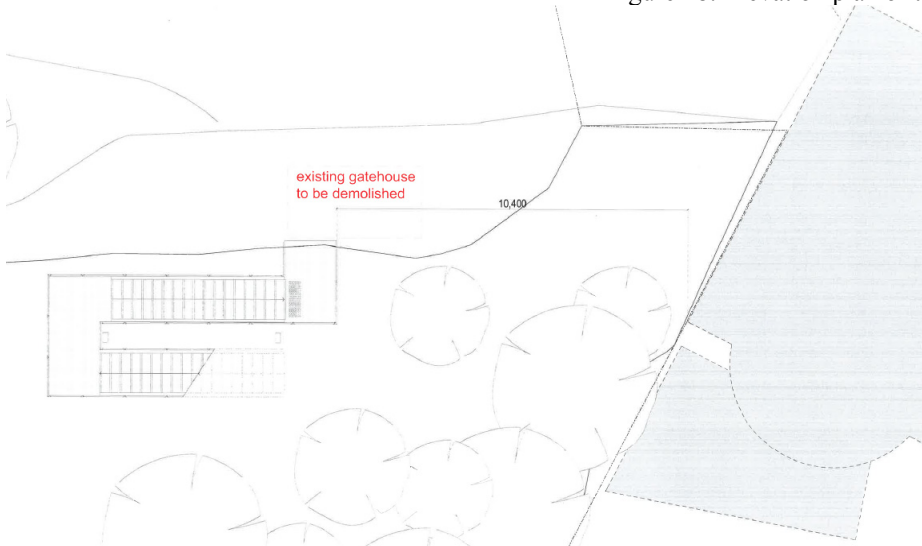


Figure 49: Site plan of the proposed stairs

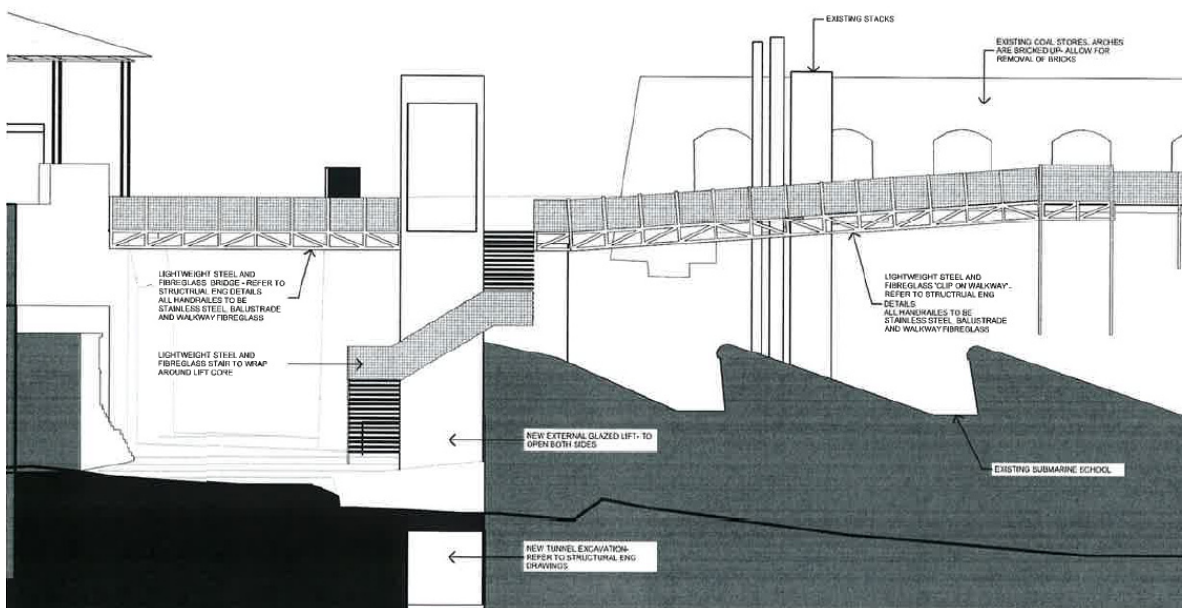


Figure 50: Elevation plan showing the new lift tower, connecting bridge and cantilevered walkway

### 5.2.4 View Impact Analysis

In accordance with the Planning Principle contained in *Tenacity Consulting v Warringah* [2004] NSWLEC 140 and in order to decide whether or not view sharing is reasonable, the court developed a four-step process of assessment:

***Step 1 Assessment of views to be affected, noting that water views are valued more highly than land views and iconic views are valued more highly than views without icons (e.g. Sydney Harbour Bridge and the like) and that whole views are valued more highly than partial views.***

***Comments:***

As shown above, the majority of the identified properties within the immediate vicinity of the Platypus benefit from views of the waters of Neutral Bay and in some cases of Sydney Harbour beyond. The Iora Apartments and the apartments in the upper levels of Nos. 140, 142 and 144 High Street and 9A Kiara Close would have whole views of Neutral Bay, while the other properties would be restricted to short and mid-range views of Neutral Bay and the eastern foreshore of the bay. As discussed above, those water views are considered to be valued more highly than land views, although none benefit from iconic views.

The properties located at Nos. 125 to 165 High Street do not benefit from views of Neutral Bay or Sydney Harbour to the east and southeast, due to the topography of the land and the proximity and scale of development (including Platypus) located on the eastern side of High Street.

***Step 2 Consider what part of a private property the views are available from (i.e. principle living areas and private open space or non-habitable rooms).***

***Comments:***

As shown in Figure 40 above, high value views of the waters of Neutral Bay and Sydney Harbour in the distance are available from the balcony located on the eastern elevation of the building at No. 9A Kiara Close. It is also assumed that similar views would be available from the main living room/s within the building.

The remainder of the identified private properties were not accessed, and it is assumed that the views as identified would be available from balconies and living room windows located on the eastern sides of the buildings. Private open space areas located on the east of the residential buildings may also have some views of Neutral Bay and Sydney Harbour.

Therefore, high value views would be available from the principal living areas and private open spaces of the surrounding residential properties.

***Step 3 Assess the extent of the impact for the whole of the property, not just for the view that is affected.***

***Comments:***

When considering the location of the surrounding residential properties that benefit from water views, the following proposed changes have the potential to impact on these existing high value views:

- The new stair between the Northern Park and the Upper Level Car Park
- Landscape and public domain works to the Northern Park
- Landscape works, recreational facilities and public domain works to the Upper Level Car Park
- New lift, stair and cantilevered walkway adjacent to the Coal Stores
- Kesterton Park Link

The following is an assessment of the potential impacts of the above components of the proposal on existing available water views for the residential properties in the immediate vicinity:

Property Address	Component of the Proposal	Assessment of Potential Impact
No. 9A Kiara Close	New Stair between the Northern Park and Upper Level Car Park	<p>Based on the views seen in Figure 39 above, the new stair will be visible from the eastern balconies at No. 9A Kiara Close. The stairs however will be located against the cliff face at Platypus and will project only 1 metre above the level of the top of the cliff face.</p> <p>The proposed width of the stairs (3.5 metres) has the potential to obscure a small proportion of the available view of the waters of Neutral Bay in the middle distance to the southeast. Mitigation measures have been provided to minimise impacts.</p> <p>However, the views of Neutral Bay to the east and south will not be disturbed.</p>
	Landscape works, recreational facilities and public domain works to the Northern Park	<p>Upgrading works to the Northern Park form part of the proposal and works will include new tree plantings and the addition of playground equipment, tables and benches and shade structures.</p> <p>Built structures and playground equipment will be located close to and well below the height of the existing Resort Building and the cliff face and therefore will not be in the view line for high value views from No.9A Kiara Close.</p> <p>However, the tree plantings do have the potential to impact on available view lines from No. 9A Kiara Close to the south-east of the waters of Neutral Bay. Mitigation measures have therefore been provided to minimise impacts.</p>
Nos. 22A and 24 Adderstone Avenue	Landscape works, recreational facilities and public domain works to the Northern Park	<p>Located at the same level as the Waterfront Precinct of Platypus and directly to the north of Northern Park, there is some potential for tree plantings on the northern boundary of Platypus to impact on available views of the waters of Neutral Bay as seen from the front garden areas of these two properties, looking south east. Mitigation measures have therefore been provided to minimise impacts.</p>
Iora Apartments, No. 1 Kiara Close	The new stair between the Northern Park and the Upper Level Car Park	<p>As discussed above the balustrade for the new stair will only project 1 metre above the level of the top of the cliff. As views from the apartments to the northeast are over Platypus to Neutral Bay the new stair will have no impact on these existing views.</p>



Property Address	Component of the Proposal	Assessment of Potential Impact
Iora Apartments, No. 1 Kiara Close	Landscape works, recreational facilities and public domain works to the Northern Park	As above, the bulk of the built forms for the proposed works to the Northern Park will be located adjacent to the cliff face in the western portion of the park. Tree planting however may obscure views of the water directly to the east of Platypus when viewed from the Iora Apartments, however, this interruption should be very minor and not inhibit the broader scale views of the waters of Neutral Bay which the apartment complex benefits from.
	Landscape and public domain works to the Upper Level Car Park	The proposed works to the Upper Level Car Park are considered to be relatively minor, involving line marking and the replacement of the existing balustrade. Some plantings are proposed at the southern end of the car park, however these are to be low foliage plants and will have no impacts on available high value views to the east and southeast from the apartments.
	New lift, stair and cantilevered walkway adjacent to the Coal Stores	It is anticipated that the top of the proposed lift to be located to the south of the Coal Stores may be visible above the level of the Coal Stores, however, given the height of the RANTME Factory building located further to the south, this new element will have no impacts on existing views over Platypus to Sydney Harbour beyond, which the apartment complex benefits from.
140-144 High Street	Kesterton Park Link	Based on Figures 43, 44 and 45, only glimpse views of the waters directly to the east of these three properties are available due to existing landscaping. Therefore, the proposed Kesterton Park Link will have no impacts on existing views of the western foreshore waters of Neutral Bay as seen from the High Street properties. Any views available from the upper levels of these residential flat buildings will be retained as existing.

**Step 4 Assess the reasonableness of the proposal that is causing the impact.**

**Comments:**

The proposed works to Platypus are being proposed in accordance with the *Sydney Harbour Federation Trust Comprehensive Plan (2003)* and the *Platypus Management Plan (2016)* as part of the revitalisation scheme for the site. The vision for the future use and development of Platypus by the Harbour Trust is to transform the site into a public park with buildings and facilities adapted for a range of cultural, recreational, community and commercial uses. This current proposal forms part of the implementation of this vision and is considered to be reasonable.

The project also involves transforming a redundant industrial waterfront site into a vibrant shared public space for the benefit of the community. Throughout the process of developing and planning the revitalisation project, the Harbour Trust has consulted widely with the community on the proposed works and has liaised closely with potentially affected residents to mitigate any adverse impacts.

## 6 Conclusion

### 6.1 Generally

The final question to be asked is whether a more skilful design could provide the applicant/proponent with the same development potential and amenity and reduce the impact on the views of neighbours. If the answer to that question is no, then the view impact of the development would probably be considered acceptable and the view sharing reasonable.

Given the industrial and maritime character of the Platypus and its location within close proximity to other public parks, the proposal is not incompatible with the existing character of the site and its immediate surrounds. Views of the site from the surrounding areas will not detract from or obscure the key features of the place being the collection of Defence and former Gasworks buildings, the exposed cliff face and the former Submarine Wharf.

The proposed alterations involve a number of relatively minor additions, alterations and intrusions upon the existing place. However, as can be seen from the above analysis of the history of the physical development of the site (see Section 2.1), the current configuration of the Platypus is at its smallest since the early 1900s. The proposal will not result in extensive additions to the overall mass of structures or to the configuration of the buildings on the site. Existing heights and the overall scale of the buildings and structures on the site will remain the same.

In the main, existing views of the waters of Neutral Bay and Sydney Harbour as seen from the immediately adjacent residential properties will not be impacted on by the proposed works at Platypus. The new stairs between the Northern Park and the Upper Level Car Park and the proposed tree planting to the Northern Park have some potential to impinge on existing view lines from residential properties to the north of Platypus, however, broad scale views of the waters of Neutral Bay and Sydney Harbour will be retained.

All proposed works appear to have been carefully considered and placed to avoid visual intrusion and are being proposed to support the public use of the site. The alterations are, in our view, capable of being carried out in a sympathetic manner and will not cause adverse visual impacts at the place nor inhibit existing high value views available from residential properties within the immediate vicinity.

### 6.2 Mitigation Strategies

The following conditions of approval are recommended should the Harbour Trust decide to approve this proposal:

#### *Public Domain Views*

In order to minimise potential visual impacts on views of Platypus from the surrounding public domain, the following measures are recommended:

- 1) The proposed walkway and any balustrade included is to be of an open design allowing east-west views of the sea wall and natural rock shelves located on the shoreline (below the RANTME Factory) to be largely maintained.
- 2) The design of the Proposed Northern Access Stair is to be of an open character to minimise obstruction of views of the cliff face behind.
- 3) Species selection for additional planting proposed for the Northern Park is to take into consideration existing broad-scale views of Platypus and in particular the cliff face, as seen from east, north-east and south-east.
- 4) The proposed landscaping and pergola to the east elevation of the FIMA Workshop building is to be articulated to ensure that an appreciation of the whole length of the building can still be appreciated in the broader landscape.

- 5) The demolition of the two central bays of the RANTME Factory building should include the retention of parts of the existing structure as an interpretation of the original form of the building.
- 6) Lighting design and fittings proposed including CCTV equipment are to be selected to need minimum lighting levels for safe night time use. Lamps are to be directed downwards and are to be suitably shielded to prevent glare when viewed from surrounding areas external to the place. Details to be submitted pursuant 1.2 above.

### ***Private View Sharing***

In addition, the following mitigation measures are also recommended to ensure that any impacts on private views of high value are minimised:

- 7) The Proposed Northern Access Stair is to be compact, minimising the width of the overall structure, to minimise potential impacts on available views to the south from No. 9A Kiara Close to Sydney Harbour.
- 8) Species selection for any new plantings to the northern boundary of the Northern Park should take into consideration existing view lines from No. 9A Kiara Close and from No. 24 and 22A Adderstone Avenue to the waters of Neutral Bay.



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## CURRICULUM VITAE

### KATE DENNY BA, MHerit. Cons. (Hons)

Education: University of Sydney, Masters of Heritage Conservation (Hons.), 2004  
University of Sydney, Bachelor of Arts (Anthropology, Art History), 1994

Employment: Lucas Stapleton Johnson & Partners as Heritage Planner since April 2010.  
Taylor Brammer Landscape Architects as Heritage Assistant 2007 -2010  
Conybeare Morrison as Heritage Specialist, 2006  
Leichhardt Council as Development Assessment Assistant, 1999-2005

Recent work includes:

#### *Conservation Management Plans*

- Hyde Park Barracks, Sydney
- Juniper Hall, Paddington
- Sydney General Post Office, Sydney
- Brisbane General Post Office, Sydney
- Roseneath Cottage, Parramatta
- 14 Hickson Road, Walsh Bay
- Woolloomooloo Finger Wharf, Woolloomooloo
- Goods Island Lighthouse, Torres Straits
- Booby Island Lighthouse, Torres Straits
- Double Island Point Lighthouse, Queensland
- Major House, Lower Fort Street, Millers Point
- Vernon's Flats, Lower Fort Street & Trinity Avenue, Millers Point
- Steven's Building, Windmill Street, Millers Point
- (former) Shipwright's Arms Hotel, Windmill Street, Millers Point
- Bronte House, Bronte
- Experiment Farm Cottage, Harris Park
- University of Sydney Grounds (Camperdown and Darlington campuses)
- Mallet Street Campus, University of Sydney
- Blackburn Building, University of Sydney
- Exeter Park and School of Arts Building, Exeter, NSW
- Mining Museum, George Street, The Rocks
- Milton Terrace, 1-19 Lower Fort Street, Millers Point
- Braemar, Springwood
- Penhurst Street Baby Health Clinic (former), Penhurst
- Cabarita Federation Pavilion, Cabarita Park
- Penhurst Street Baby Health Centre, Penhurst
- Windmill Street, Trinity Avenue and Kent Street (various), Millers Point

#### *Heritage Studies and Assessments*

- Lansdowne, 3 Anderson Street, Neutral Bay
- (former) Metropolitan Remand Centre, Glebe
- Gap Bluff, Sydney Harbour National Park, Watsons Bay



- Millers Point heritage strategy, Department of Family and Community Services
- Ku-ring-gai Council Review of Potential Heritage Items
- Kirribilli Village and Milson Point Railway Station, Ennis Road, Kirribilli
- Hunter Region Rural Homestead Complexes comparative study for the NSW Heritage Office
- Catherine Hill Bay Conservation Area Heritage DCP
- NSW Parliament House, Macquarie Street, Sydney
- Pier One, Walsh Bay
- Willoughby Council Heritage Review
- St Paul's College, University of Sydney
- St Andrew's Anglican Church, Summer Hill
- St Andrew's College, University of Sydney

*Interpretation Plans and Strategies*

- Queen Mary Building, University of Sydney
- New Law Building, University of Sydney

*Heritage Development Work (applications to consent authorities)*

- Roseneath Cottage, Parramatta
- Swifts, Darling Point Road, Darling Point
- Juniper Hall, Paddington
- Martin Place, Sydney
- Telford Lodge (Place), 159 Brougham Street, Kings Cross
- Ennis Road shops and North Sydney Train Station Entry, Kirribilli
- Greenwich Baths, Lane Cove
- Craignairn, Burns Road, Wahroonga
- Craigmyle, Burns Road, Wahroonga
- Queen Mary Building, University of Sydney
- Sydney GPO, Martin Place, Sydney
- Former Police Station, 103 George Street, The Rocks
- St Keirans, Fairfax Road, Bellevue Hill
- Tresco, Elizabeth Bay
- Woolloomooloo Finger Wharf (residential component), Woolloomooloo
- Our Lady of Mercy College, Parramatta
- Blackburn Precinct and Vet Science Precinct, University of Sydney
- Donald Bradman's boyhood home, 52 Shepherd Street, Bowral
- Old AMP Building, Circular Quay
- Adelaide Villa, 48 Botany Street, Bondi Junction
- Lyndoch Place, 2 Barker Road, Strathfield
- Hazelmere, 49 Queen Street, Woollahra
- Lipson, 70 Jersey Road, Woollahra
- 198 Queen Street, Woollahra (former Woollahra Grammar School)
- Lane Cove Council (Heritage Assessment Officer services- ongoing)

*Assistance in preparing statements of evidence*

NSW Land Environment Court:

- Bidura and (former) Metropolitan Remand Centre, Glebe
- 139 Goods Street, Parramatta
- Lansdowne, 3 Anderson Street, Neutral Bay
- Hazelmere, 49 Queen Street, Woollahra
- Clovelly Hotel, Clovelly
- Banksia, 3 Beach Street, Double Bay

**February 2017**



. Minter Ellison Building (old MLC Building), Sydney (1938) (foyers)	BOMA Certificate of Merit Award, 1991
. The Edward Winter House, Telopea, Sydney (Walter Griffin, 1935)	
. Blackdown Homestead, Bathurst, NSW (1823)	
. The Swan Brewery, Perth, WA (1879) (quality control)	
. The Merchant's House, The Rocks, Sydney (1848)	
. The Palmhouse, Royal Botanic Gardens, Sydney (1912)	
. Sydney GPO, No.1 Martin Place, Sydney (from 1864)	State MBA Award, Entertainment/Hospitality, 2000; PCA (NSW) Rider Hunt Award 2001; API Development & Heritage Awards, 2001
. Wyoming, Balmain, Sydney (1881)	
. Woolloomooloo Finger Wharf, Sydney (1911-15)	Waterfront Centre USA, Annual Top Honor, Excellence on the Waterfront, 2000; State MBA, Excellence in Construction Award, 2001
. Macleay Museum, Sydney (1887) (exterior works)	
. St. John's, Darlinghurst (1858 & 1886) (stone spire conservation)	National Trust of Australia (NSW) Heritage Award, 2002
. Wesley College, University of Sydney (1916)	
. Walsh Bay Redevelopment (1900-1920)	RAIA Lloyd Rees Award, 2005 RAIA Walter Burley Griffin Award, 2005
. Four historic glasshouses, Royal Botanic Gardens, Sydney (1898 – 1908)	
. Muritai, Cremorne, Sydney (1909, Waterhouse and Lake)	
. Redstone (Winter House), Dundas, Sydney (1935, Walter Griffin)	
. The Briars, Woolstonecraft (1914, Donald Esplin)	
. Vet Round House, University of Sydney (1920, Leslie Wilkinson)	National Trust of Australia (NSW) Conservation Award, 2012
. Restoration and rejuvenation of Sir Donald Bradman's Boyhood Home, Bowral NSW (1890)	National Trust of Australia (NSW) Joint Top Conservation Award, 2013 Wingecarribee Shire Council Heritage Award (Overall Winner), 2013 AIA Architecture Award (Conservation) 2015
. Bronte House (c.1845, Mortimer Lewis)	

**New construction projects include:**

. Bennett Residence, Bayview, NSW (1999)	State and National MBA House of the Year, Open Category, 2000
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Currently heritage architect for Sydney GPO (from 1864); Norwood,  
Goulburn, NSW (1830s) and Figtree House, Hunters Hill (1830s).

**Special Projects/Appointments include:**

- Consultant to the Heritage Council of Western Australia for the brokering of the Heritage Agreement for the Swan Brewery, Perth, 1993-4
- Consultant to the NSW Heritage Office for statutory approvals for the Parramatta Rail Link Project, 2003.
- Consultant to Heritage Office of Queensland for Pioneer Council Chambers, Mackay (1935, Harold Brown, architect), 2008 and 2010.

- Reference committee to Sydney City Council for Commonwealth Bank Building (Money Box Bank), Sydney, 2008 and 2010.
- Consultant to University of Sydney for refurbishment of the Fisher Library, 2012-13
- Expert Member, Waverley Development Approvals Panel, 2013 – to date
- Expert Member, Inner West Council (formerly Leichhardt) Development Approvals Panel, 2014 – to date
- Expert Member, Parramatta Independent Hearing and Assessment Panel (IHAP), August 2016 – to date
- Expert Member, Strathfield Independent Hearing and Assessment Panel (IHAP), 2017 - to date

**Conservation Reports** include:

- . Mulgoa Valley, NSW
- . Victoria Barracks, Sydney
- . Kirribilli House, Sydney
- . Kingston and Arthur's Vale Historic Area (KAVHA), Norfolk Island
- . The Treaty House, Waitangi, New Zealand
- . Booloominbah, University of New England, Armidale, NSW
- . The Swan Brewery, Perth
- . Maatsuyker Island, Barrenjoey, and 15 other Australian lightstations
- . Bondi Pavilion, Sydney
- . Woolloomooloo Finger Wharf, Sydney
- . Walsh Bay Redevelopment Area, Sydney
- . The Strand Arcade, Sydney
- . Macquarie Lighthouse, Sydney
- . Snapper Island, Sydney
- . Macleay Museum, University of Sydney
- . Rose Cottage, Wilberforce, NSW
- . Assessment of 23 contemporary houses in Woollahra Municipal Council area for heritage listing
- . Fisher Library, University of Sydney
- . Cabarita Federation Pavilion, Cabarita, NSW
- . University of Sydney, Camperdown and Darlington Campuses
- . Many houses in Millers and Dawes Point Village Precinct, Sydney
- . Double Island Point, Booby Island and Goods Island Lighthouses, Queensland
- . General Post Offices, Sydney and Brisbane

**Heritage Impact Statements** for alterations include:

Igloo House, Sydney (1953), Harry Seidler architect  
Brett and Wendy Whiteley House, Sydney (1908)  
Woolloomooloo Finger Wharf (1915)  
Our Lady of Mercy College, Parramatta (from 1840)  
Roseneath, Parramatta (c.1837)  
Norwood, Goulburn (c.1837)

**Expert Witness** engagements include:

St. John's, Paddington, Sydney (from 1842), Henry Robertson and David McBeath architects, for South Sydney Council  
Joylen (Lyon & Cottier House), Balmain, Sydney (1880s), for Leichhardt Council  
Strathmore, Cremorne Point, Sydney (1915), Edwin Orchard architect, for North Sydney Council  
Villa Floridiana, Hunters Hill, Sydney (1850s), Jules Joubert, for Hunters Hill Council  
Parklands, Blackheath, NSW (1878), John Pope estate, for Chase Properties  
St Kieran's, Bellevue Hill (1905), Maurice Halligan architect, for Woollahra Municipal Council  
Forrest Hill precinct, Vic, for City of Stonnington, Victoria  
Bidura Metropolitan Remand Centre, Glebe, NSW, Edmund Blacket architect, for City of Sydney Council



**Participations and Appointments include:**

- 1975-78, tutor in graphic communication, School of Architecture, University of Sydney.
- Since 1980, visiting lecturer at various Sydney schools of architecture and building.
- In June 1980 was participant in UNESCO ICOMOS Historic Quarters Seminar and Training Course in - Czechoslovakia (historic town conservation).
- In July 1985 participated in Attingham Summer School in the U.K. (British country houses).
- In 1988 guest lecturer for UNESCO and ICOMOS at Regional Training Seminar for Cultural Personnel in Asia and the Pacific, Tokyo, Nara and Kyoto, 8 - 21 November 1988.
- In 1992 was conference convenor for Australia ICOMOS, international committee meetings, events and conference: "Whose Cultural Values?", 14-22 November 1992.
- In 1995 was co-organiser of Australia ICOMOS, Workshop on World Heritage Criteria for Associative Cultural Landscapes, 27-29 May 1995.
- In 2000 was conference convenor for the National Trust of Australia (NSW) conference "Adaptive Re-use, Creativity and Continuity", Sydney 9-10 November, 2000

**Publications include:**

*Architects of Australia* (Bruce Dellit & Emil Sodersten), Macmillan, 1981 (co-author)  
*The Sydney Morning Herald*, Articles on restoration and architecture, 1981 - 1990  
*How to Restore the Old Aussie House*, Flannel Flower Press, Editions: 1983, 1991 & 2008  
*Colour Schemes for Old Australian Houses*, Flannel Flower Press, 1984 (co-author)  
*More Colour Schemes for Old Australian Houses*, Flannel Flower Press, 1993 (co-author)  
*Australian House Styles*, Flannel Flower Press, Editions: 1997 and 2010 (co-author)  
*The Illustrated Burra Charter*, Australia ICOMOS, 1992, co-project manager  
*New Taxation Incentives in Australia*, International Symposium: The Heritage and Social Changes, ICOMOS Bulgaria, October 1996  
*Australian Lighthouses*, Historic Environment, Vol.12, numbers 3 & 4, 1997  
*Thumbs up for the Finger Wharf*, Sydney Morning Herald, 7th August 2000  
*Recycling Heritage - Or Re-Vitalising*, Reflections, October-January 2001  
*Edwin Roy Orchard, Architect, Rediscovered*, Reflections, May-July 2003  
Contributions to *Encyclopaedia of Australian Architecture*, Cambridge University Press (4 entries), 2008  
*Sydney GPO – Ten years on*, Architecture Bulletin, November/December 2009  
*The Veterinary Round House at the University of Sydney*, Trust News Australia, August 2013  
*Restoration of Sir Donald Bradman's Boyhood Home*, National Trust Magazine, May-June 2014  
*Housing a Legend*, Inside History, January-February 2014  
*The Trust's Early Role In Saving Bronte House*, National Trust Magazine, August-October 2016

**Professional Committee Involvements include:**

- Chairman, Historic Buildings Committee of the RAIA (NSW Chapter) 1983 - 1988
- Councillor of the RAIA (NSW Chapter), 1983 - 1988, 1990 - 1994
- Joint researcher/author and co-ordinator of the *List of 20th Century Buildings of Significance* of RAIA (NSW Chapter), 1978 - 1988
- President Australia ICOMOS (International Council on Monuments and Sites), 1992 - 1994, executive committee member 1982 - 1988, 1990 - 1995, Honorary Secretary, 1986 - 1987, Vice President 1994 - 1995
- Member Architects Advisory Committee of the National Trust of Australia (NSW), 1986 - 2008
- Member of the Technical Advisory Group on Materials Conservation of the Heritage Council of NSW, 1983 - 1993
- Member of the National Advisory Committee of the Tax Incentives for Heritage Conservation Scheme (Department of Communications and the Arts), 1995 to 1999
- Member Australia ICOMOS committee to review the *Burra Charter*, 1996 - 1999.
- Member DOCOMOMO Australian Working Party, 2001.
- Member Wingecarribee Shire Council Heritage Advisory Committee, 2011 to date

**March 2017**